



## 12 Paddock Close, Cwmbran, NP44 1LL

### Offers in the region of £240,000



Welcome to this charming semi-detached house located in Paddock Close, Pontnewydd, Cwmbran. This property boasts a cosy reception room, perfect for relaxing with family or entertaining guests. With three inviting bedrooms, there's ample space for a growing family or for those who enjoy having a home office or guest room.

Don't miss out on the opportunity to make this lovely house your own. Book a viewing today and envision the endless possibilities this property holds for you and your loved ones.





MAIN DESCRIPTION

One2One Estate Agents are delighted to offer for sale this recently refurbished semi-detached home situated in a highly desirable area offering excellent road and rail links, making commuting effortless and convenient. Located close to reputable schools and a variety of local shops, this property provides easy access to all essential amenities, perfect for family living.

The ground floor boasts a spacious lounge, a convenient WC, and a modern kitchen/dining room equipped with a wine fridge, integrated washing machine, and space for a range cooker. Doors open out to the rear garden, creating a seamless indoor-outdoor flow ideal for entertaining and relaxation.

The first floor comprises three well-proportioned bedrooms and a contemporary family bathroom, all finished to a high standard to ensure comfort and style.

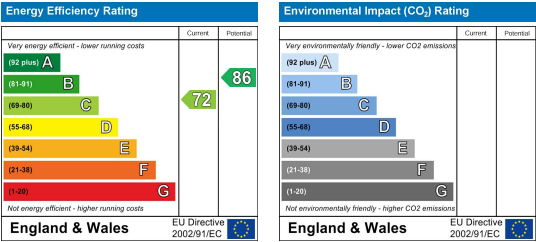
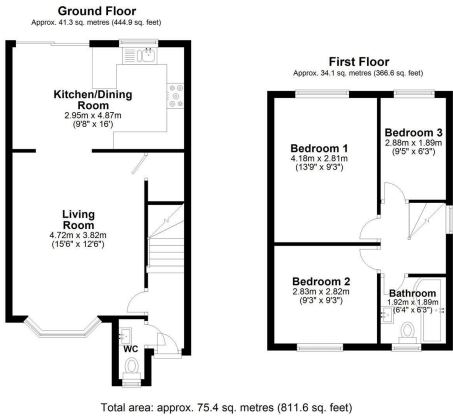
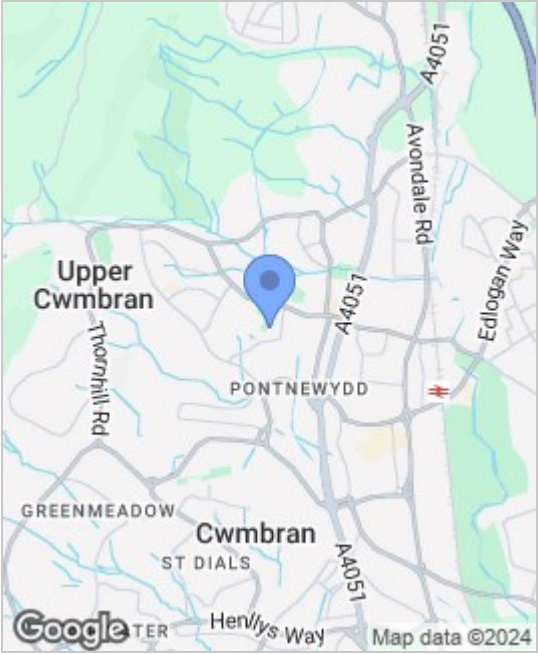
Externally, the property features a rear garden with a decking area and lawn, providing a perfect setting for outdoor activities. A large shed with electricity offers additional storage or could serve as a functional workshop. The front of the property benefits from a private driveway, providing ample off-street parking.

This stunning home combines modern living with excellent connectivity and proximity to schools and shops, offering an exceptional lifestyle opportunity ready to be enjoyed. NO CHAIN.

TENURE: FREEHOLD

COUNCIL TAX BAND: C

NB: One2One Estate Agents have been advised by the seller the details pertaining to this property. It is the buyer's responsibility to determine council tax band and tenure. We would encourage any interested parties to seek legal representation and obtain professional advice prior to purchase.



These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements of representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. No person in this firms employment has the authority to make or give any representation or warranty in respect of the property.